

# APPLICATION REFERENCE: PF/24/2458

LOCATION: The Hunny Bell, The Green, Hunworth, Norfolk,  
NR24 2AA

PROPOSAL: Alterations to public house to reduce bar area and add 4 guest bedrooms, demolition of agricultural building and erection of 6 dwellings (2 affordable), landscaping and alterations to existing access

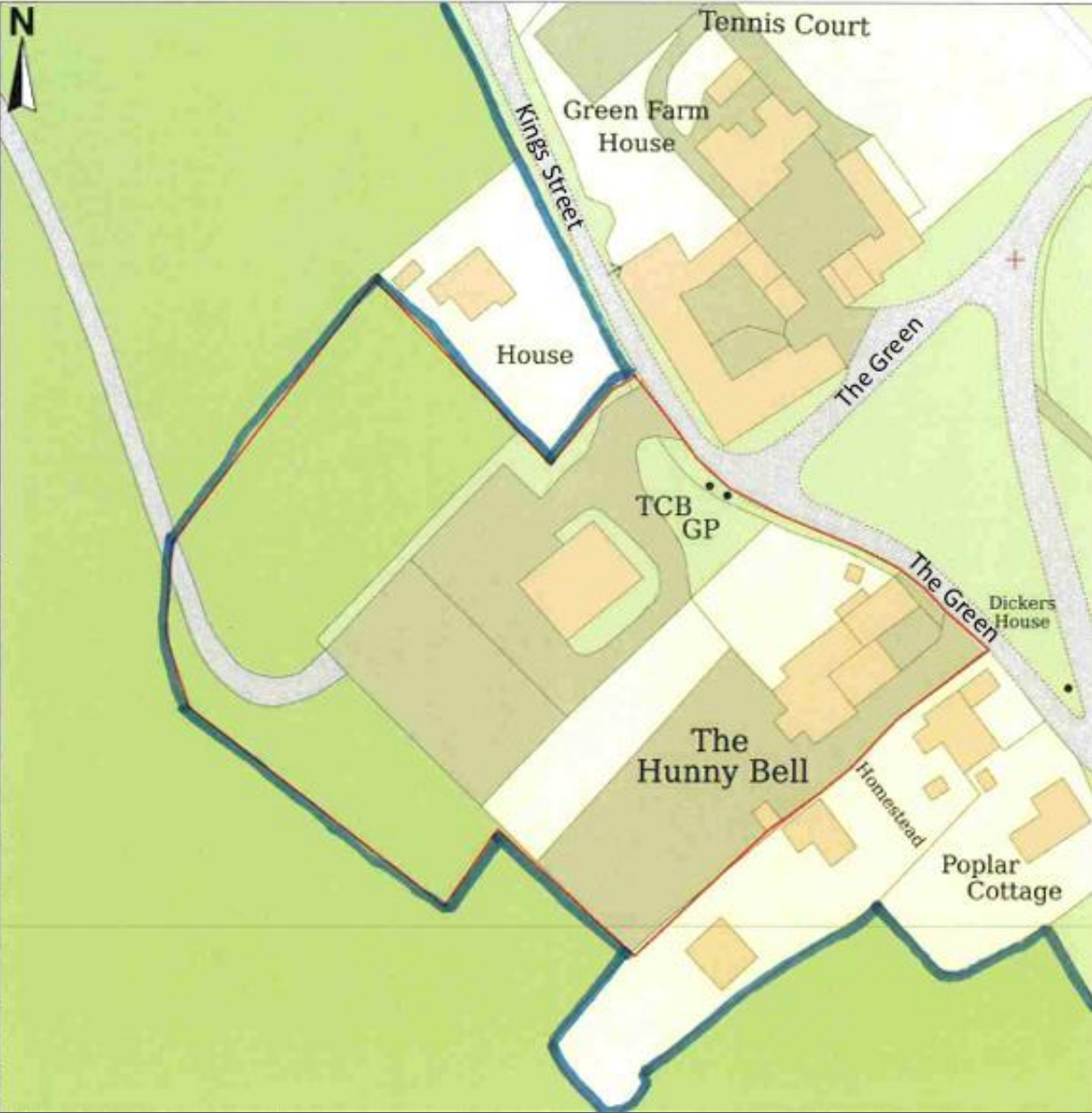


NORTH  
NORFOLK  
DISTRICT  
COUNCIL

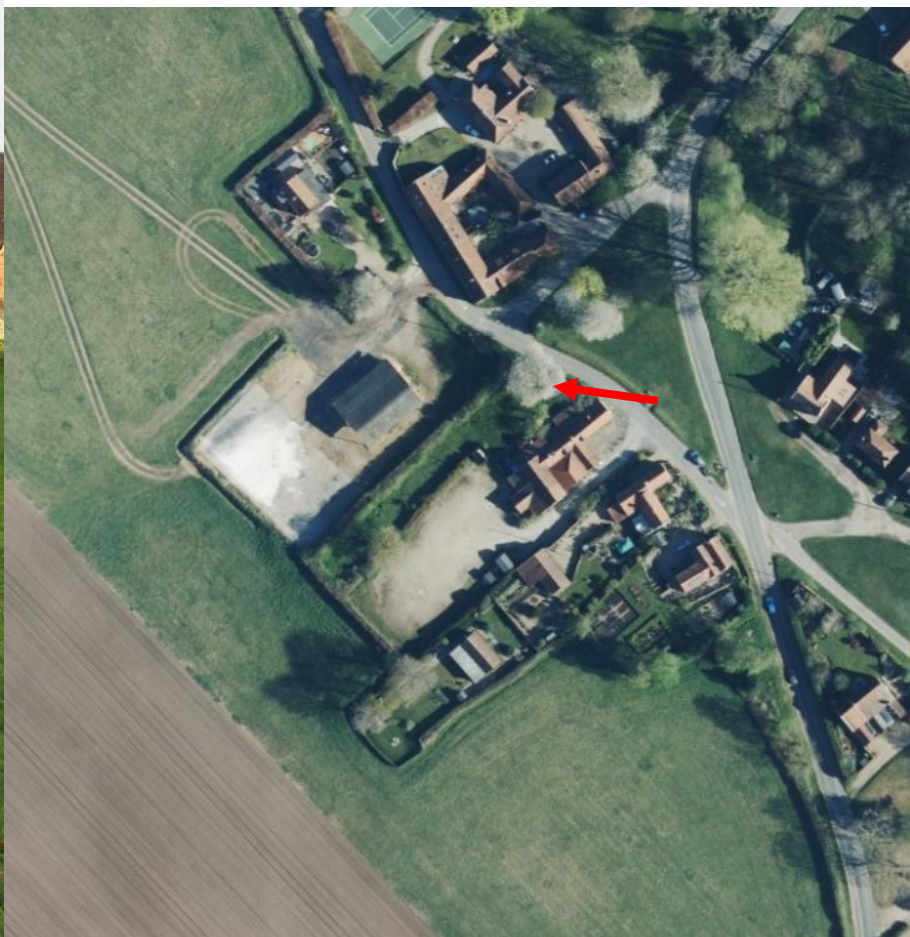
[north-norfolk.gov.uk](http://north-norfolk.gov.uk)

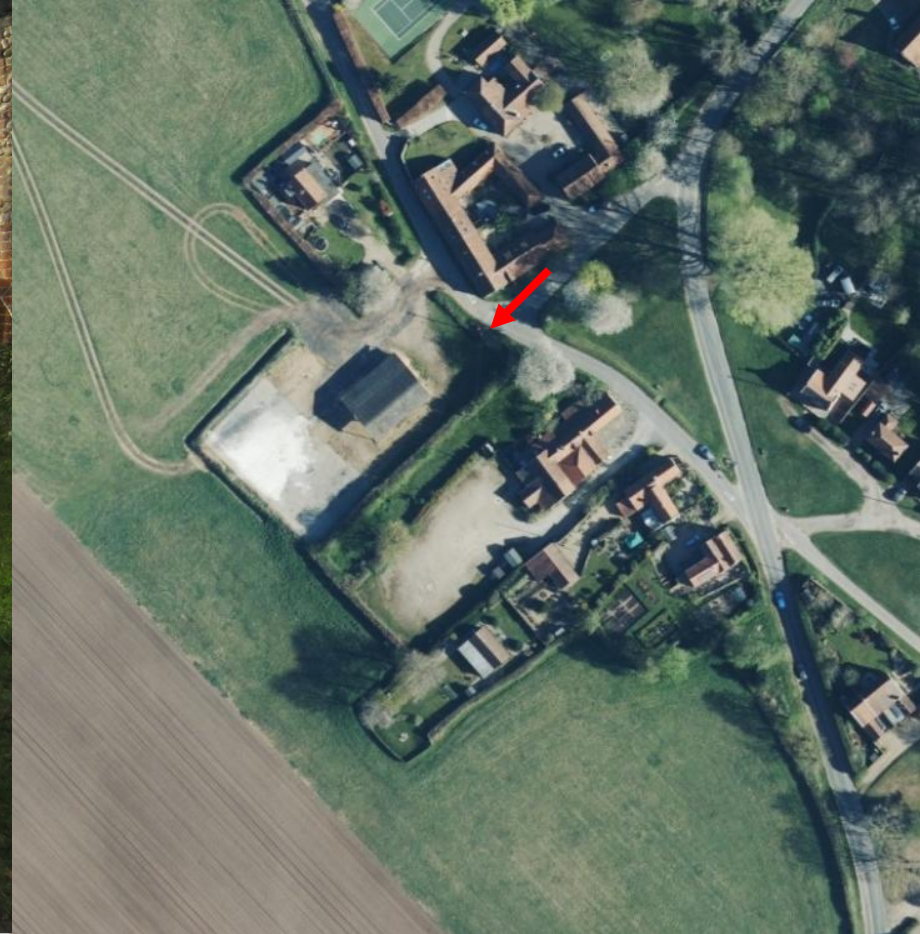
30 April 2026

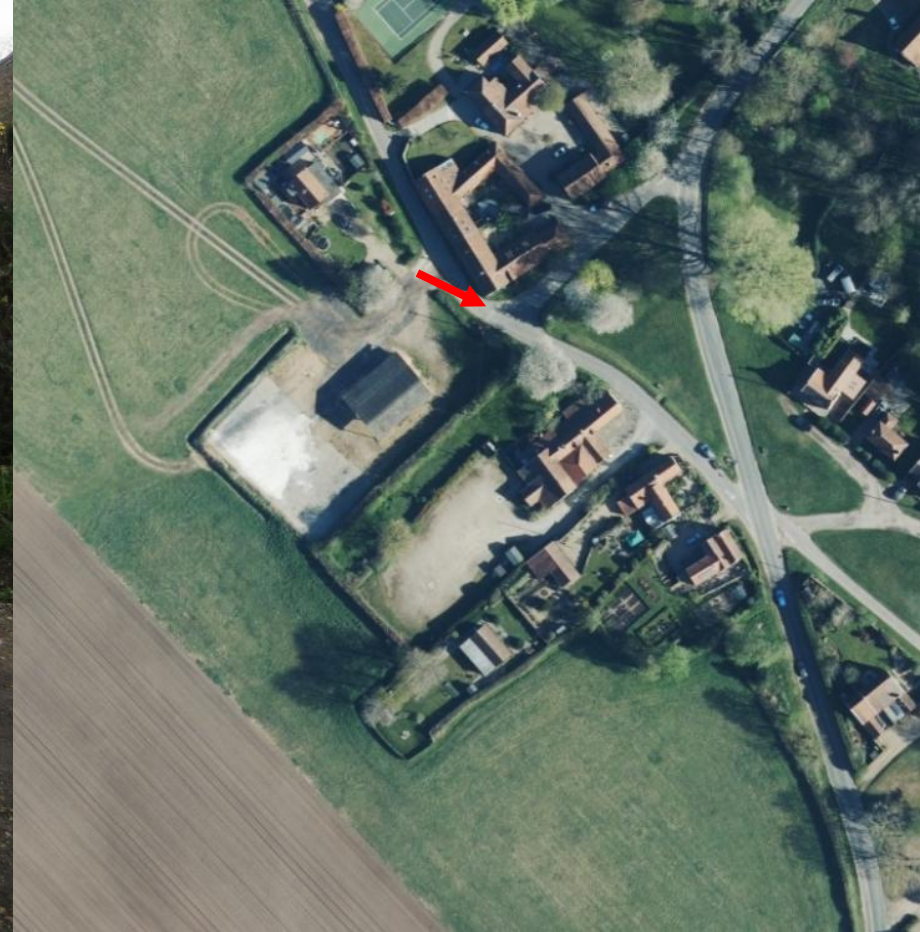
# LOCATION









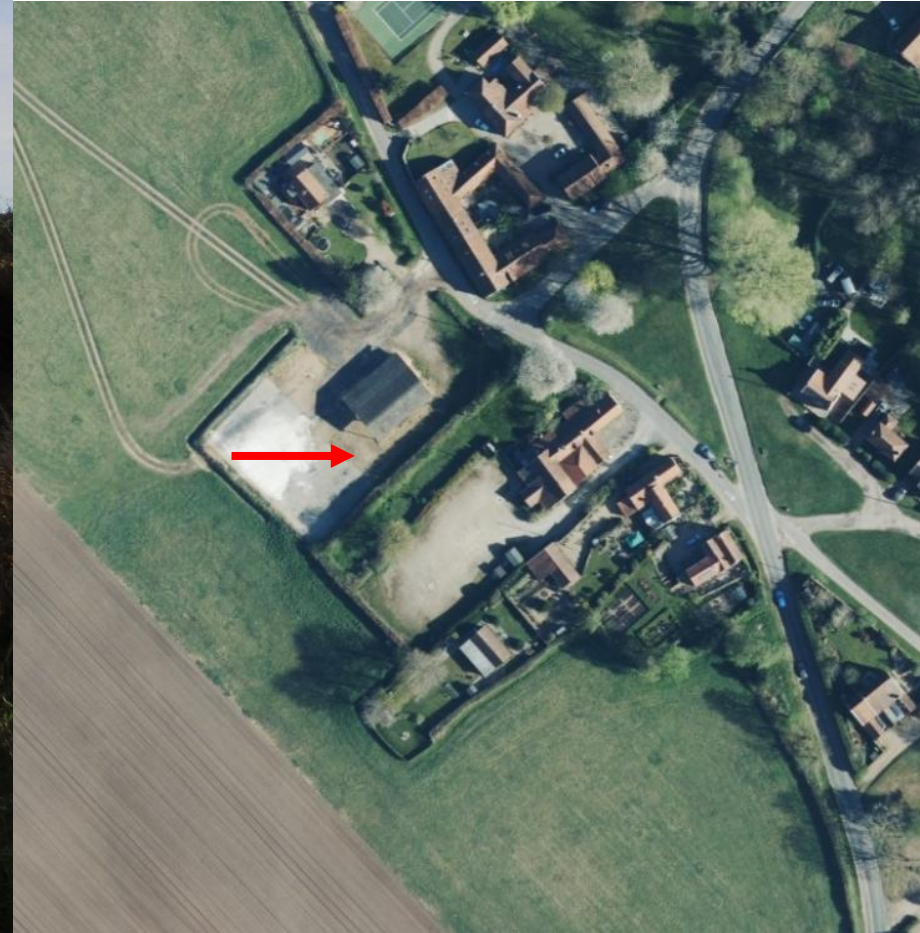




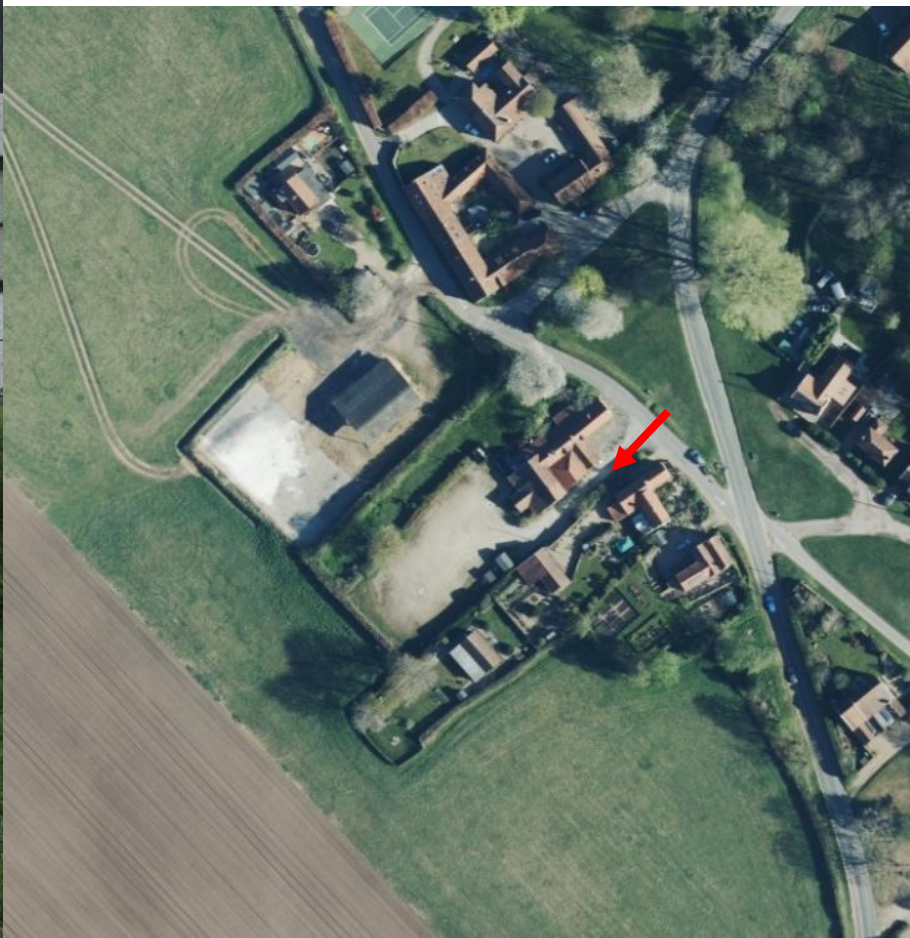








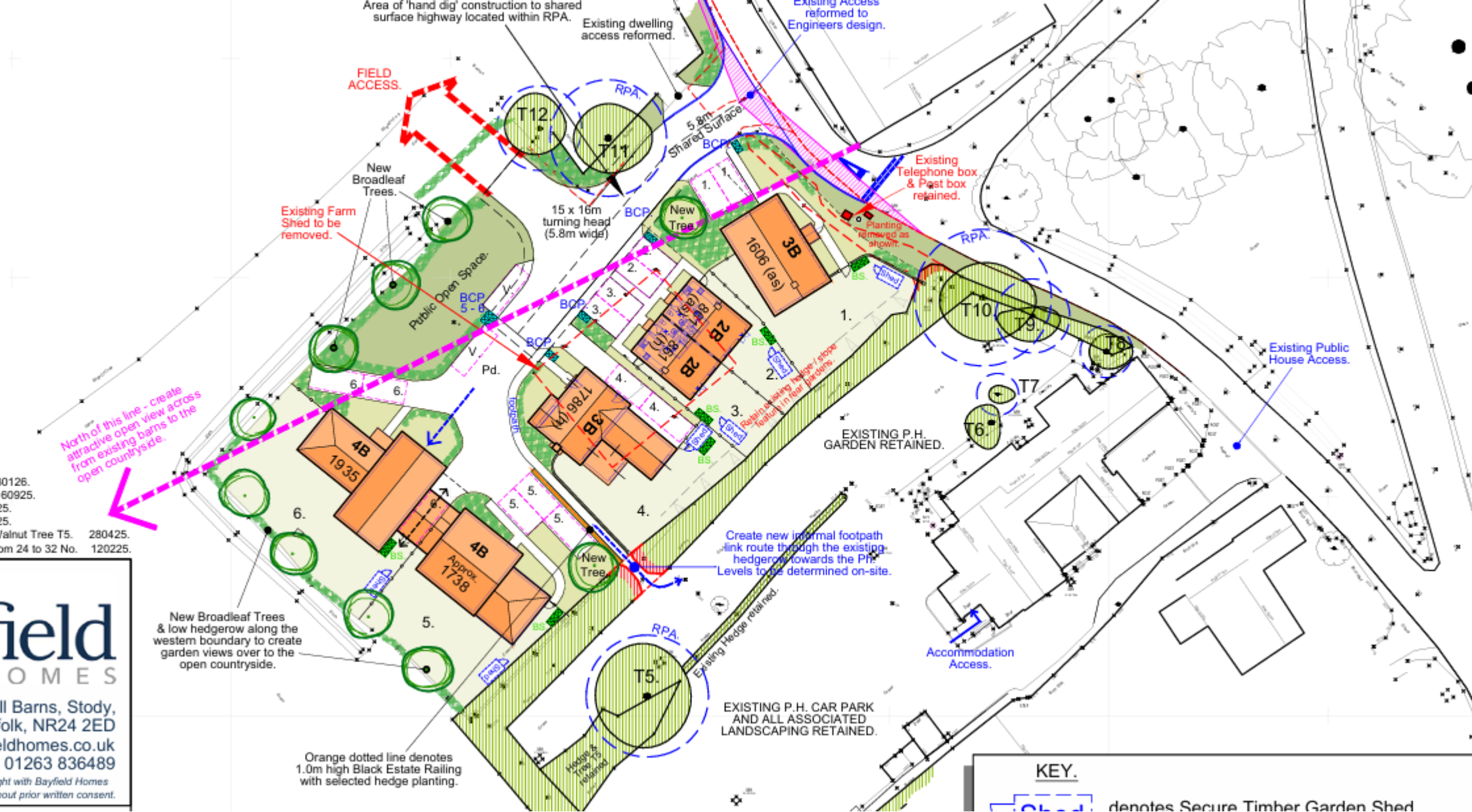








# Proposed Site Plan

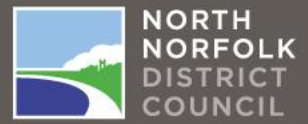


0126.  
60925.  
25.  
25.  
Walnut Tree T5. 280425.  
from 24 to 32 No. 120225.

**Bayfield**  
HOMES

All Barns, Study,  
Folk, NR24 2ED  
bayfieldhomes.co.uk  
01263 836489

Agreement with Bayfield Homes  
must be obtained prior written consent.



Insert carved decorative 'Date Stone' into the North facing gable - all to be detailed.



Plot 1.

**FRONT ELEVATION.**

Selected Red Brick walls with Flintwork infills as shown, all to be detailed with Red Brick quoins to match the local detailing. Red Paralle Roofs and traditional Norfolk Capping to bargeboards. Segmental or Soldier course Arches where shown on elevations.



**RIGHT SIDE ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and Norfolk Capping to bargeboards. Segmental Arches where shown on elevations.



Plot 2. Plot 3.

**FRONT ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and traditional Norfolk Capping to bargeboards. Rubbed Brick, Segmental or Soldier course Arches where shown on elevations.



**SIDE ELEVATION.**

Plot 3 as drawn. Plot 2 Handed.



Plot 4.

**FRONT ELEVATION.**

Selected Red Brick walls with Flintwork infills as shown, all to be detailed with Red Brick quoins to match the local detailing. Red Paralle Roofs with Norfolk Capping to bargeboards & brick sashes. Hubbed Brick or Soldier course Arches where shown on elevations.

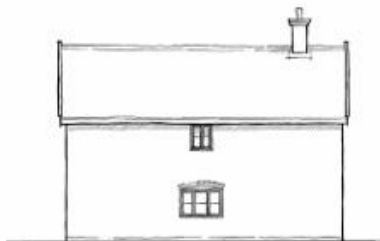


**RIGHT SIDE ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and traditional Norfolk Capping to bargeboards. Black railing to balcony to be detailed.

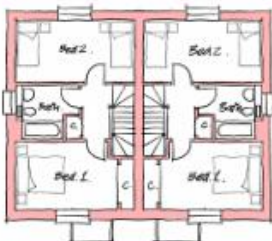


FIRST FLOOR PLAN.



**REAR ELEVATION.**

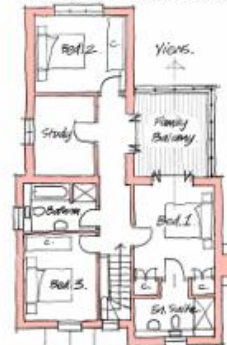
Selected Red Brick walls. Red Paralle Roofs and Norfolk Capping to bargeboards.



FIRST FLOOR PLAN.



**REAR ELEVATION.**



FIRST FLOOR PLAN.



**LEFT SIDE ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and traditional Norfolk Capping to bargeboards. Soldier course Arches where shown on elevations.

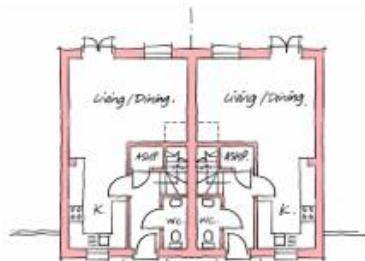


GROUND FLOOR PLAN.



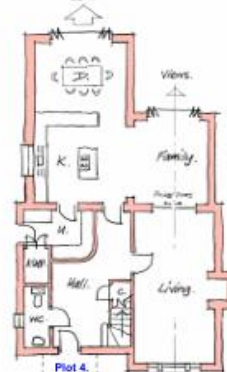
**LEFT SIDE ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and Norfolk Capping to bargeboards. Segmental Arches where shown on elevations.



GROUND FLOOR PLAN.

**Plots 2 and 3**



GROUND FLOOR PLAN.

3 BED 1786 sqft Plot 4 as Drawn. ( 166 sq.m ).



**REAR ELEVATION.**

Selected Red Brick walls. Red Paralle Roofs and traditional Norfolk Capping to bargeboards. Soldier course Arches where shown on elevations. Black railing to balcony to be detailed.

**Plot 4**

**Plot 1**

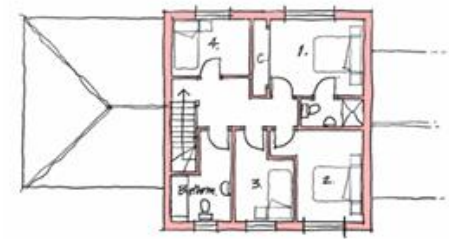
**Proposed Housetypes**



**Plot 5.**  
**FRONT ELEVATION.**  
 Selected Red Brick walls with Finework infills as shown, all to be detailed with Red Brick quoins to match the local detailing.  
 Slate Roofs with brick detail eaves.  
 Segmental Brick Arches where shown on elevations.



**REAR ELEVATION.**



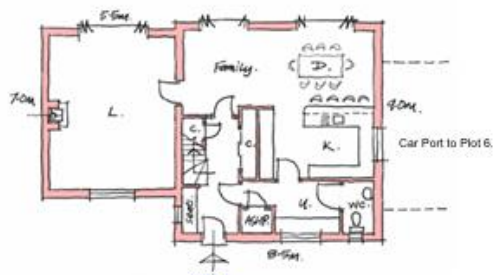
**FIRST FLOOR PLAN.**



**LEFT SIDE ELEVATION.**



**RIGHT SIDE ELEVATION.**



**Plot 5.**  
**4 BED 1738 sqft Plot 5 as Drawn.**  
 (161.4 sq.m).  
**GROUND FLOOR PLAN.**



**Plot 6.**  
**FRONT ELEVATION.**  
 Selected Red Brick walls with Finework infills to be shown, all to be detailed with Red Brick quoins to match the local detailing.  
 Slate Roofs with brick detail eaves.  
 Segmental Brick Arches where shown on elevations.



**REAR ELEVATION.**



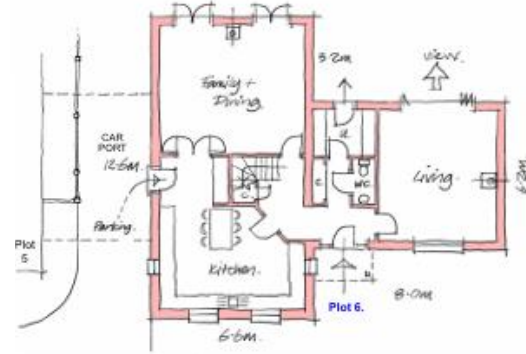
**FIRST FLOOR PLAN.**



**RIGHT SIDE ELEVATION.**



**LEFT SIDE ELEVATION.**

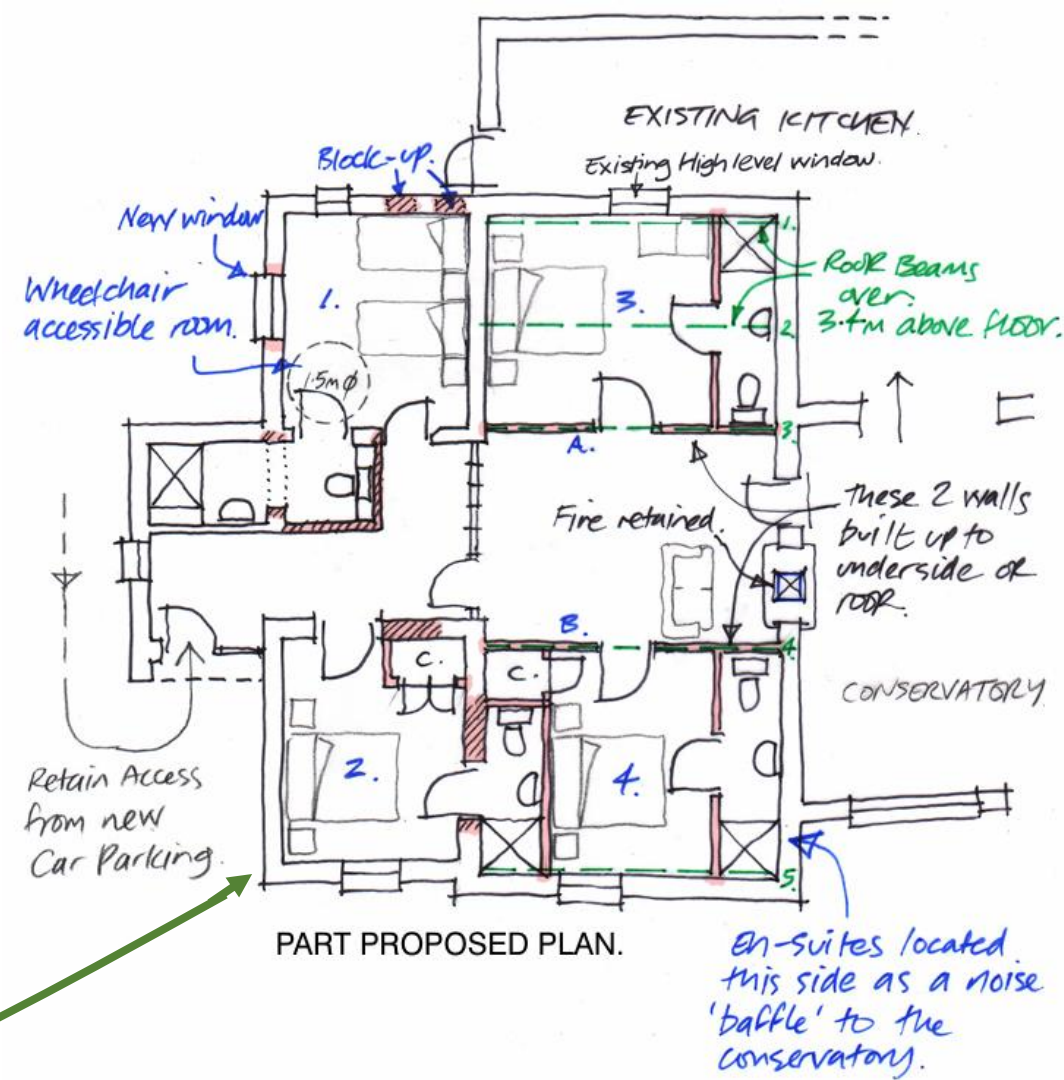
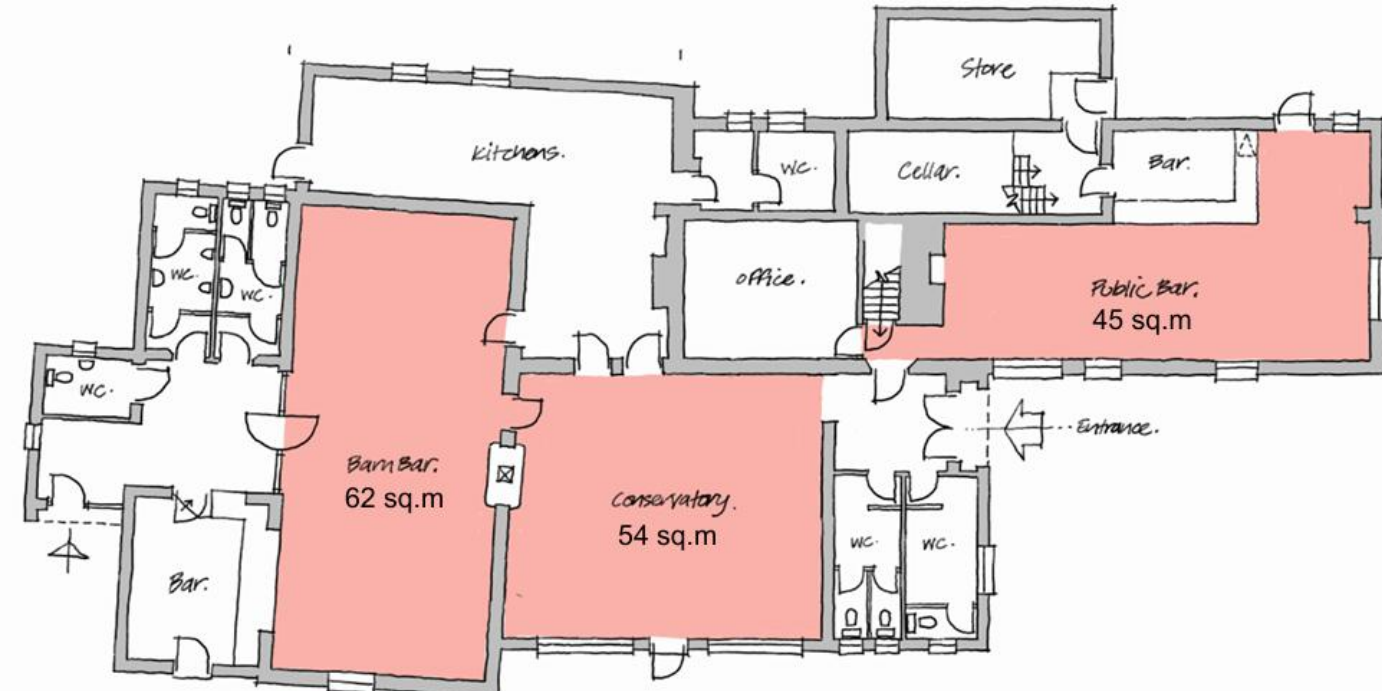


**Plot 6.**  
**4 BED 1935 sqft Plot 6 as Drawn.**  
 (179.7 sq.m).  
**GROUND FLOOR PLAN.**

**Plot 5**

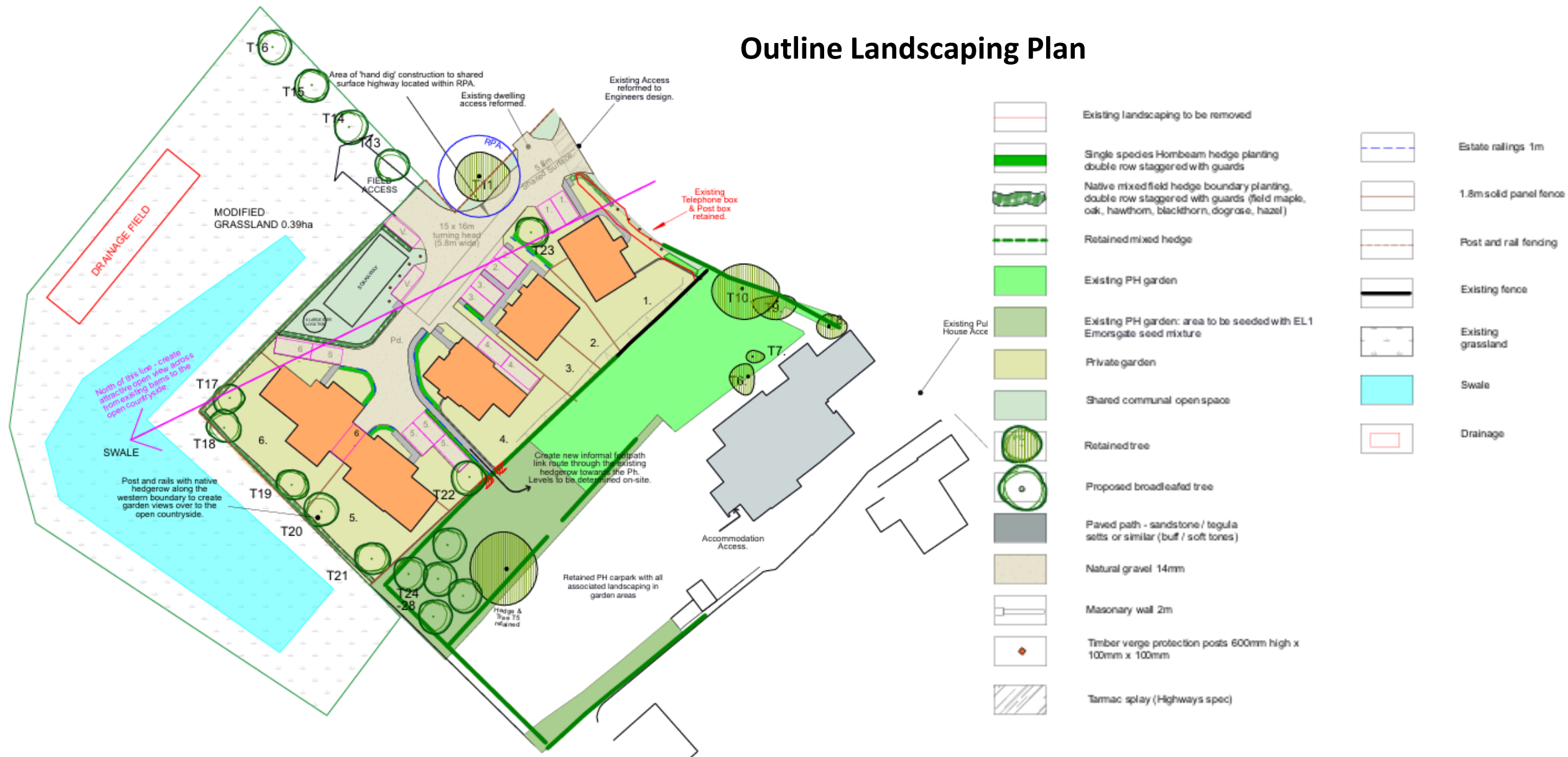
**Plot 6**

# Proposed Housetypes



**Existing and Proposed Hunny Bell floor plans (guest bedroom works)**

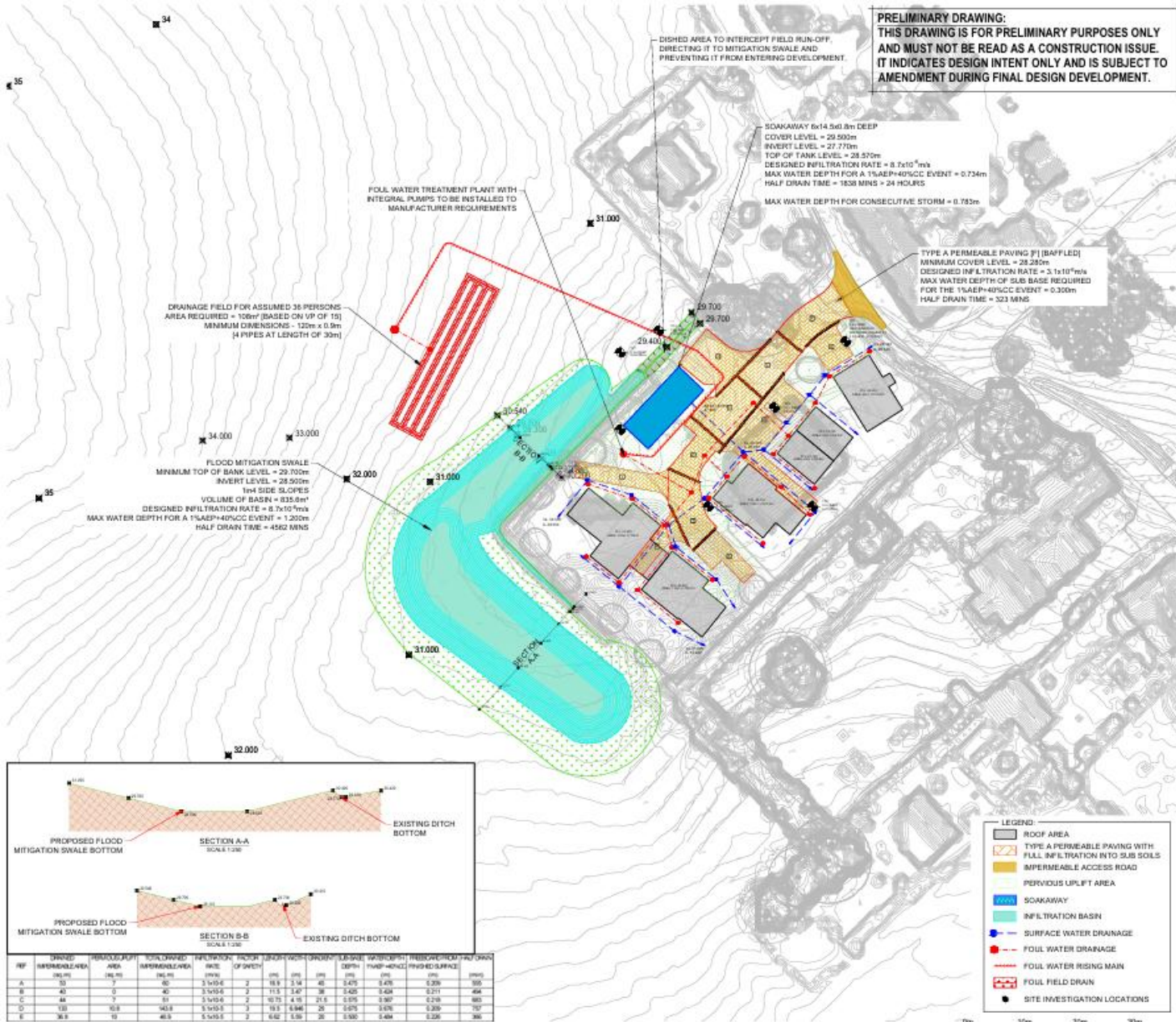
# Outline Landscaping Plan



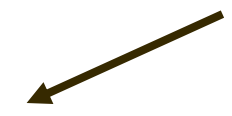


## Flood Risk and Drainage

## Existing temporary flood mitigation measures



# Proposed drainage strategy and flood mitigation works



# Flood risk maps

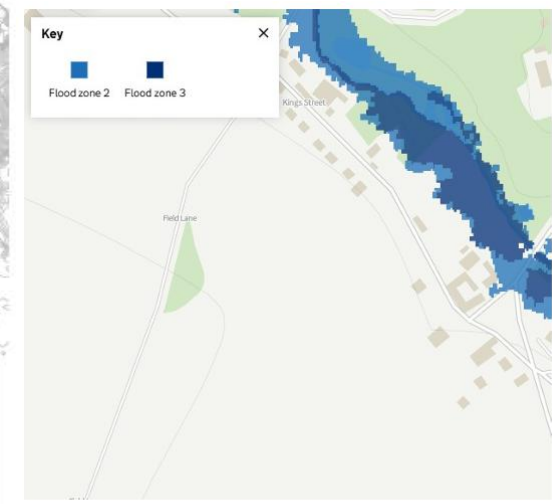


Figure 1: Fluvial Flood Map

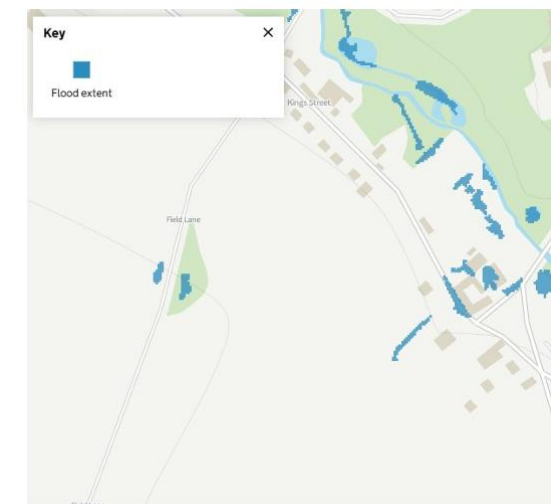
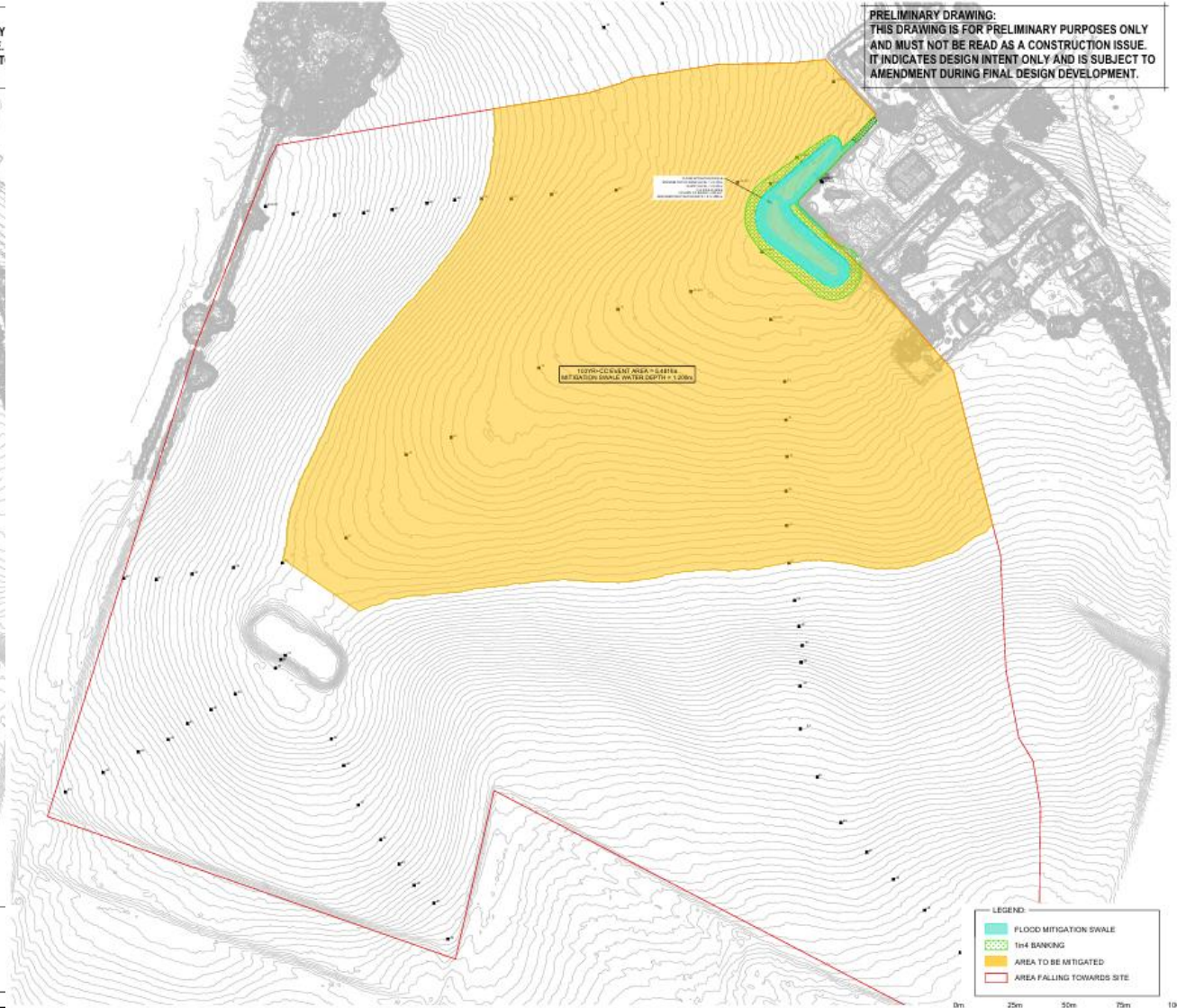
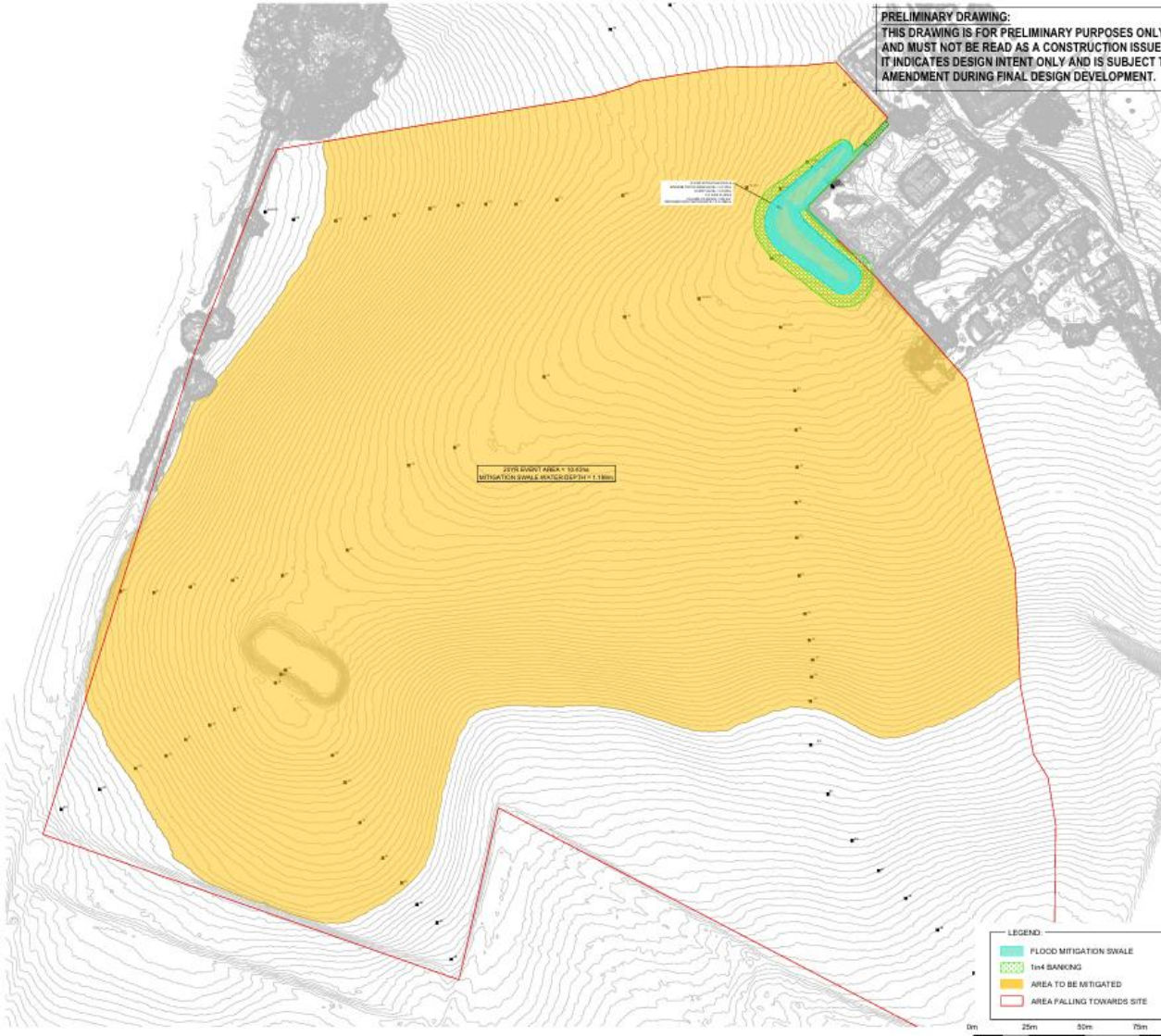


Figure 2: Surface Water Flood Map



## Proposed Swale (mitigation) - Contributing Area for 1 in 20 year event and 1 in 100 year + CC event

# Recommendation

**APPROVAL subject to:**

**1. The completion of an agreement under Section 106 of the Town and Country Planning Act 1990 to secure the following:**

- **Two affordable dwellings**
- **Works to The Hunny Bell public house to create 4 guest bedrooms**
- **Norfolk Green Infrastructure and Recreational Impact Avoidance Mitigation Strategy GIRAMS - £2,314.25 (Index Linked)**
- **On-site provision of 235 square metres of Amenity Green Space, alongside its future management and maintenance**
- **Financial contribute towards off-site open space provision/enhancement in vicinity of site:**
  - **Allotments - £2,558 (Index Linked)**
  - **Children Play Space - £3,221 (Index Linked)**
  - **Natural Green Space - £5,796 (Index Linked)**
  - **Parks and Recreation Grounds - £19,516 (Index Linked)**
  - **Youth Play Space - £1,309 (Index Linked)**
- **Biodiversity Net Gain Monitoring fee of £2,925 (Index Linked)**
- **Council S106 Monitoring fee £2,000 (Index Linked)**

**and;**

**2. The imposition of conditions to cover the matters listed below and any others considered necessary at the discretion by the Assistant Director for Planning, and;**

**3. If the Section 106 agreement isn't completed and the permission isn't issued within 3 months of the date of this Committee meeting then the Assistant Director for Planning will consider whether the application resolution remains appropriate and in doing so will take account of the likelihood of the Section 106 being completed and permission issued in the near future (i.e. within another month) and will consider whether there are any potential / defensible reasons for refusal at that time. If he reaches that view – i.e. that the application should potentially be refused - then the application would be reported back to Committee.**

# Suggested Conditions

1. Time limit for commencement
2. Approved plans and documents
3. External materials
4. Fenestration and architectural details
5. Site levels and finished floor levels
6. Boundary treatments, including noise attenuation fencing
7. Hard and soft landscaping
8. Landscape implementation and maintenance
9. Landscape replacements
10. External lighting
11. Arboricultural Method Statement and Tree Protection
12. Archaeological investigation, mitigation, reporting and archiving
13. Ecological mitigation measures
14. Biodiversity enhancement features (birds, bats, etc.)
15. Construction Environmental Management Plan (CEMP)
16. GIRAMS condition
17. Biodiversity Net Gain implementation condition
18. Surface water drainage scheme (SuDS) and management and maintenance
19. Groundwater monitoring for drainage
20. Securing flood mitigation works and management and maintenance
21. Foul drainage and package treatment plants
22. Access construction and highways works details
23. Visibility splays
24. Residential parking provision, including visitor spaces
25. Cycle parking provision
26. Electric vehicle charging points
27. Plant and equipment noise controls
28. Energy efficiency and carbon reduction – pre-development calculations
29. Energy efficiency and carbon reduction – SAP and EPC calculations
30. Low-carbon / renewable energy technologies
31. Water efficiency standards
32. Accessible and adaptable dwellings (M4(2))
33. Contaminated land investigation, remediation and verification
34. Fibre-to-the-premises provision
35. Fire hydrant provision